



921/1 25136
Greenwood Place
PALMERSTON NORTH CITY COUNCIL

CODE COMPLIANCE CERTIFICATE No:7408
Section 43(3), Building Act 1991

Owner Details

Name: MR WADE WILSON
Mailing Address: 7 EARL PLACE, PALMERSTON NORTH

Contact: DIAMOND HOMES LIMITED

Project Information

The project is for New Building
Intended Use(s): ERECT A 4 BEDROOM DWELLING WITH ATTACHED GARAGE
Intended life: Indefinite but not less than 50 years

Project Location

Street Address: 157 SUMMERHILL DRIVE, PALMERSTON NORTH
Assessment No: 14700/082.36

Council Charges

Council's charges for this CODE COMPLIANCE CERTIFICATE :

This is a final code compliance certificate issued in respect of all of the building work under the above building consent

Signed for and on behalf of the Council:

Name: K.D. ROBERTSON

SENIOR BUILDING OFFICER

Signed: 

Dated: 12/11/99

Advice of Completion of Building Work

Section 43 (1), Building Act 1991

To: **Palmerston North City Council**

Under Building Consent No: 25136

From [Owner]: W.R. + S.E. Wilson

Copy to
Diamond Homes
please.

OWNER DETAILS

Name: W.R. + S.E. Wilson

Mailing Address: 7 Earl Place

Palmerston North

Contact: Diamond Homes Ltd

Contact Mailing Address: 135 Cuba Street

Palmerston North

Phone: 355-4443 Fax: 355-4449

PROJECT LOCATION

Street Address:

2/ Caversham Place

Palmerston North

Legal Description: (as shown on Certificate of Title or Rates Notice)

Valuation Roll Number:

Lot: 36 D.P. 76922 Section

(Cross each applicable box and attach relevant documents)

You are hereby advised that:

☐

All

☐

Part only (as specified in the attached particulars)

of the building work under the above Building Consent is believed to have been completed to the extent required by that Building Consent

You are requested to issue:

☒

A final

☐

An interim

Code Compliance Certificate accordingly (except where a Code Compliance Certificate has been issued by a Building Certifier as stated below).

The attached particulars include:

Building Certificates

A Code Compliance Certificate issued by a Building Certifier

Producer Statements

Signed by or for and on behalf of the owner:

Name: W.R. + S.E. Wilson

Position: Owners

Signature: W. Wilson

Date: 5 / 11 / 99

Note: Upon completion of this project, this form must be completed and returned to the Palmerston North City Council Building Services Section. This will enable a final inspection to be performed and a Code Compliance Certificate to be issued.



BUILDING WORK COMPLETION ADVICE



TO: PALMERSTON NORTH CITY COUNCIL

Application for

G2111



PIM (Section 30, Building Act 1991) 25/35



Building Consent (Section 33, Building Act 1991) 25/36

157 Sumner L.H. Ave.

APPLICANT *

Name: W.R. + S.E. Wilson.

Mailing Address: 7 Earl Place
Palmerston North.

Contact (Print name and position):
Diamond Hand Ltd

Mailing Address: 135 Cuba Street
Palmerston North.

Phone: 355-4448 Fax: 355-4449

*Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or take a lease of the land, while the agreement remains in force.

PROJECT LOCATION

Street Address: 157 Sumner Drive

1 Greenwood Place
Palmerston North.

Legal Description (as shown on Certificate of Title or Rates Notice)

Valuation Roll Number:

Lot: 36

D.P. 76922.

Section

PROJECT INFORMATION

New Building ☒

Alteration ☐

Demolition ☐

Being Stage 1 of an intended 1 stages. Estimated Value (inclusive of GST) \$ 149,700 - 00

Intended Use(s) [in detail]: Build 4 bedroom home + double garage.

Floor Area (of New Building Work) 212 - 57 Square metres

Intended Life: Indefinite but not less than 50 years ☒

Specified as years

TEMPORARY VEHICLE ACCESS TO SITE

PROPOSED METHOD OF ACCESS

(Please tick one)

1. Planks across footpath and berm []
2. Metal across footpath and berm []
3. Plates across footpath and berm []
4. Other [☒]

Applicant is responsible for any footpath, grass berm and services damage due to building activities. Any damage to footpaths, berms, etc. will be repaired by the Council and charged to the applicant. Alternatively, applicants may reinstat all damage themselves to Council standards. Approval will be required for any repairs from the Roading and Transport Unit. (Refer to Council Streetworks Officer.)

FOR COUNCIL USE

PIM

BC

Receipt Number:

Received:

..... / /

☐ PLEASE SUBMIT ALL SUPPORTING DOCUMENTS IN DUPLICATE.

Name: W.R. + S.E. Wilson.

Position: Owners.

Signature: [Signature]

Date: 10 / 8 / 99

NOTES TO APPLICANTS

1. If this application relates to the construction of a residential building, which does not comply with the District Plan Residential Zone Separation Distance Requirements and neighbours consent has been granted, this application is also deemed to be an application for a Resource Consent, the cost of which is \$37.50.
2. The information in this application will be held by the Palmerston North City Council.
3. The information contained in this application will be held on a "public register" as defined by the Privacy Act 1993 and will be available for inspection and copying by members of the public in terms of the requirements of the Building Act 1991.
4. It is a mandatory requirement of the Building Act 1991 that the information required in this application be provided and the application cannot proceed unless all relevant information is provided.
5. You have a right to access to and, if necessary, correction of the information supplied in this application.

PART B: PROJECT DETAILS

The project involves the following matters (Cross each applicable box, if any, and attach relevant information to the duplicate):

- ☐ Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings
- ☐ New provision to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART C: BUILDING DETAILS

(Complete Part C in all cases)

The application is accompanied by (Cross each applicable box and attach relevant information to the duplicate):

- ☐ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☐ Building Certificates
- ☐ Producer Statements
- ☐ References to accreditation certificates issued by the Building Industry Authority
- ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART D: Key Personnel

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s): Shade Design 16 South St Pk 358-7739

Building Certifier(s): —

Builder(s): Diamond Home 135 Cuba St Pk 355-4448

Registered Drainlayer: Clearallons Contracting 21 Kildare Place Pk 354-7989

Registered Plumber: A. Cull Chadwick Pk 358-1518

Registered Gasfitter: —

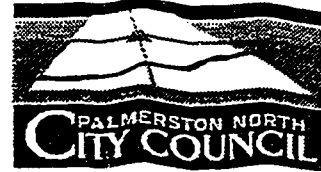
Registered Electrician: J. Wardman 21 Kildare Place Pk 354-0454

Other: —



PROJECT INFORMATION MEMORANDUM AND/OR CONSENT BUILDING APPLICATION

A21/1



BUILDING INSPECTION CHECKSHEET

RESIDENTIAL DWELLING

Feature	Comply	Non-Comply	Alternative Solution	Date	Initials
Confirm boundaries	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3/9/99	MB
Foundation siting as per plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2/9/99	MB
Ground bearing capabilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3/9/99	MB
Foundation and steel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3/9/99	MB
Vehicle crossing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Floor height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3/9/99	MB
Waste pipes fall and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7/9/99	MB
Hot water cylinder drain	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Lagging through slab	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Vapour barrier	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Slab reinforcing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Slab thickening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Pile, Post holes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Floor plan layout	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4/10/99	MB
Construction joints	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Bottom plate fixings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
DPC bottom plate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Timber grading	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Moisture content	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Wall Bracing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Lintels and beams	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Truss design, roof framing, fixing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Insulation Wall	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4/10/99	MB
Roof cladding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Solid blocking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

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Exterior cladding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	1/1
Ext windows, doors and flashings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	1/1
Hot and Cold water pipeout	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/10/99	288
Pressure test	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	↓
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
Post line	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
Drainage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	
Sanitary sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	30/8/99	cm
Size of pipes and falls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	↓
Water test	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	↓
Stormwater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9/10/99	cm
Size of pipes and falls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	↓
Measure and record layout	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1/1	↓

Variation / Alternative Comments:

S-11-99 Final all OK By [Signature]



TO: PALMERSTON NORTH CITY COUNCIL

Application for



PIM (Section 30, Building Act 1991)



Building Consent (Section 33, Building Act 1991)

APPLICANT *

Name: W.R. + S.E. Wilson

Mailing Address: 7 East Road
Palmerston North

Contact (Print name and position):

Diamond Hand Ltd

Mailing Address: 135 Cuba Street
Palmerston North

Phone: 355-4448 Fax: 355-4449

*Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.

PROJECT LOCATION

Street Address:

Greenwood Place

Palmerston North

Legal Description (as shown on Certificate of Title or Rates Notice)

Valuation Roll Number:

Lot: 36

D.P. 76922

Section

PROJECT INFORMATION

New Building ☒ Alteration ☐ Demolition ☐

Being Stage 1 of an intended 1 stages. Estimated Value (inclusive of GST) \$ 149,700 - 00

Intended Use(s) (in detail): Build 4 bedroom home + double garage

Floor Area (of New Building Work) 212 - 57 Square metres

Intended Life: Indefinite but not less than 50 years ☒ Specified as _____ years

BUILDING INSPECTION

G ☒ BUILDING

H ☒ PLUMBING

B ☒ BUILDING

C ☐ BUILDING

H ☒ PLUMBING

D ☒ BUILDING

E ☒ BUILDING

F ☒ BUILDING

L ☒ PLUMBING

I ☒ PLUMBING

A ☒ BUILDING

A ☒ PLUMBING

J ☐ PLUMBING

K ☐ BUILDING

TOTAL ☐

FOUNDATION

PRESLAB/SUBFLOOR

PRESLAB/SUBFLOOR

STRUCTURAL

PRELINE

PRELINE

POSTLINE

EXT-CLADDING

STORMWATER

SEWER

FINAL

FINAL

EFFLUENT SYSTEM

VEHICLE XING



PALMERSTON NORTH CITY COUNCIL

VEHICLE CROSSING APPLICATION NO

A2111

Place in greenie

OWNER DETAILS

Name: W.R. S.E. Wilson
Mailing Address: 4 Esch Place
Palmerston North
Contact: Diamond Homes Ltd
Phone: 355-4448 Fax: 355-4449

PROJECT LOCATION

Street Address: 1 Greenwood Place
Palmerston North
Legal Description: (as shown on Certificate of Title)
Valuation Roll Number:
Lot: 36, DP: 76922 Section:

I hereby make application for

Please
Tick

1. A quotation for installation of Vehicle Crossing by Council. []
2. Permission required to construct own vehicle crossing to Council Standards (Inspection fee will be invoiced after completion). [☒]

Please state size of vehicle crossing required at kerb (minimum size vehicle crossing is 3.0 metres):

.....

Signed for and on behalf of the Applicant :

Name: W.R. S.E. Wilson Position: Owner

Signature: W. Wilson Issue Date: / /

**VEHICLE
CROSSING
APPLICATION**

**PALMERSTON NORTH
CITY COUNCIL**

G21/1

Building Consent No:25136
Section 35, Building Act 1991

Name: MR WADE WILSON
Mailing Address: 7 EARL PLACE, PALMERSTON NORTH

Contact: DIAMOND HOMES LIMITED
Phone: (06) 355-4448

The project is for New Building
Intended Use(s): ERECT A 4 BEDROOM DWELLING WITH ATTACHED GARAGE
Intended life: Indefinite but not less than 50 years
Value of Work: \$149,700.00

Street Address: 157 SUMMERHILL DRIVE, PALMERSTON NORTH
Assessment No: 14700/082.36
Legal: LOT 36 DP 76922 -SUBJ TO EASEMENTS-

Council's charges for this Building Consent are: \$970.87
Included in these charges - BRANZ Levy: \$150.00 BIA Levy : \$97.50

Receipt number:	1352089	Date: 18Aug99	Amount:	\$734.62
Receipt number:	1351220	Date: 17Aug99	Amount:	\$236.25
			Total:	\$970.87

1: This Building Consent is issued subject to the following conditions:-

Studs at plate intersections not at 90 degrees, are to have 25x200mm nail plates both sides, at the dwang lines.

The bathroom window is to have saftey glass in accordance with NZS 4223 Part 3 1993.

Service positions and depths should be confirmed prior to commencing any building work. These are not guaranteed by Council and may affect the Plumbing and Drainage design.

2: IT SHALL BE A CONDITION OF THE BUILDING CONSENT THAT THE OWNER AND/OR THE PERSON CARRYING OUT THE BUILDING WORK ENSURE THAT THE FOLLOWING INSPECTIONS ARE CARRIED OUT BY PALMERSTON NORTH CITY COUNCIL OFFICERS.

The following inspections are MANDATORY, failure to notify the Palmerston

THIS IS NOT A BUILDING CONSENT: 25136

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North City Council Building Services Section of any of the required inspections will result in a Notice to Rectify being issued.

Foundations

Under Floor/Sub Floor
Pre-Lining - Plumbing

Under Floor/Sub Floor - Building.

Pre-Lining - Building

Post Lining

Exterior Lining

Stormwater

Sewer

Completion.

NOTES TO THE OWNER AND PERSONS UNDERTAKING THE BUILDING WORK

- Where building work is to be undertaken to which this Building Consent relates, and is not shown in detail on the approved plans and specifications, such building work is to be completed to acceptable building standards and to the requirements of the New Zealand Building Code 1992.
- Your Building Consent incorporates a number of prepaid inspections. These inspections are detailed in paragraph 2 above.
- Should it be necessary to carry out any additional inspections or there is a requirement to repeat any inspection, the owner will be charged for the additional inspection or repeat inspection at a rate of \$67.50 (GST INC) per inspection.
- Upon completion of all building work necessary to comply with the Building Code, the owner is required to apply to the Palmerston North City Council for a Code Compliance Certificate using the Building Work Completion Advice form provided.

NOTES TO THE OWNER AND PERSONS UNDERTAKING THE BUILDING WORK

- Your Building Consent incorporates a number of prepaid inspections.
- Should it be necessary to carry out any additional inspections or there is a requirement to repeat any inspection, the owner will be charged for the additional inspection or repeat inspection at a rate of \$67.50 (GST INC) per inspection.
- Upon completion of all building work necessary to comply with the

THIS IS NOT A BUILDING CONSENT: 25136

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Building Code, the owner is required to apply to the Palmerston North City Council for a Code Compliance Certificate using the Building Work Completion Advice form provided.

Signed for and on behalf of the Council:

Name: K.D. ROBERTSON

SENIOR BUILDING OFFICER

Signed:

Dated: ../../..

THIS IS NOT A BUILDING CONSENT: 25136

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Project Information Memorandum No:25135
Section 31, Building Act 1991

Name: MR WADE WILSON
Mailing Address: 7 EARL PLACE, PALMERSTON NORTH

Contact: DIAMOND HOMES LIMITED
Phone: (06) 355-4448

The project is for New Building
Intended Use(s): ERECT A 4 BEDROOM DWELLING WITH ATTACHED GARAGE
Intended life: Indefinite but not less than 50 years
Value of Work: \$149,700.00

Street Address: 157 SUMMERHILL DRIVE, PALMERSTON NORTH
Assessment No: 14700/082.36
Legal: LOT 36 DP 76922 -SUBJ TO EASEMENTS-

Council's charges for this Project Memorandum are: \$135.00

Receipt number:	1351220	Date:	17Aug99	Amount:	\$135.00
				Total:	\$135.00

1: This Project Information Memorandum is:

- Confirmation that the proposed building work may be undertaken, subject to any requirements of the Building Consent - Attached.

2: The following information relating to special features or characteristics of the land concerned that are likely to be relevant to the design or construction of the proposed building work have been identified from Councils records.

- Service positions and depths should be confirmed prior to commencing any building work. These are not guaranteed by Council and may affect the Plumbing and Drainage design.

- A Plan showing Lateral and Service connections is attached.

3: Property Boundaries:-

THIS IS NOT A PIM: 25135

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- The owner of the property and the builder are responsible for the correct siting of buildings or additions there-on, according to the District Plan and the Building Code. The owner and the builder shall ascertain the true position of survey pegs before building operations commence, or provide evidence of boundary siting when the first foundation inspection is made. Existing fences are not always on the true boundary.

Certification from a surveyor may be required to avoid future legal problems.

4: Information relating to other authorisations under any Act (other than the Building Act 1991) which must be obtained from Council in relation to the proposed project.

- The Plumbers Gasfitters and Drainlayers Act 1976 requires that only Registered Drainlayers may undertake drainage work and that only Craftsman Plumbers may undertake plumbing work.

Signed for and on behalf of the Council:

Name: K.D. ROBERTSON


SENIOR BUILDING OFFICER

Signed:

Dated: ../../..

Seismic
430

GAP




NZS 3402:1989 GR430

A low carbon microalloyed reinforcing steel bar specifically designed for New Zealand seismic conditions combining high strength, ductility, weldability and bendability into a bar which can be economically used in all structural applications.

Genbuild
300

1m ϕ



NZS 3402:1989 GR300

A low carbon ductile, weldable and bendable reinforcing steel bar produced for use in general building and construction applications.

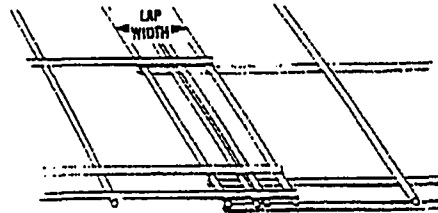
G21/1

DIMENSIONS:

147/10 + 84/10			
SHEET SIZE	GROSS COVER	LAP	NETT COVER
WIDTH (m)	2.20	0.10	2.40
LENGTH (m)	4.90	0.10	4.20
AREA (m ²)	10.75	—	10.08

ORDER CODES:

147/10 (665 MESH EQUIVALENT) 84/10 (668 MESH EQUIVALENT)
BUNDLE SIZE: 25 SHEET MINIMUM ORDER



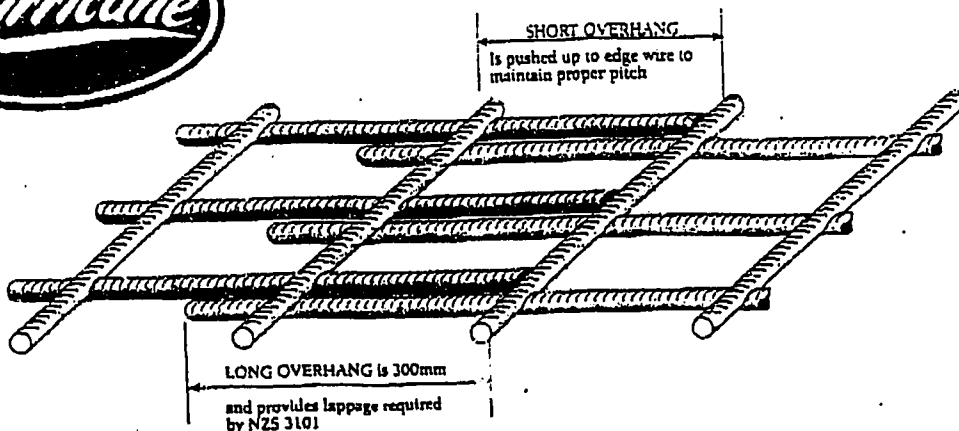
**Twin Edge - Economy
MESH**

TYPICAL TWO SHEET LAP DETAIL

* The 100mm lap detail required to satisfy the anchorage requirements of NZS 3101



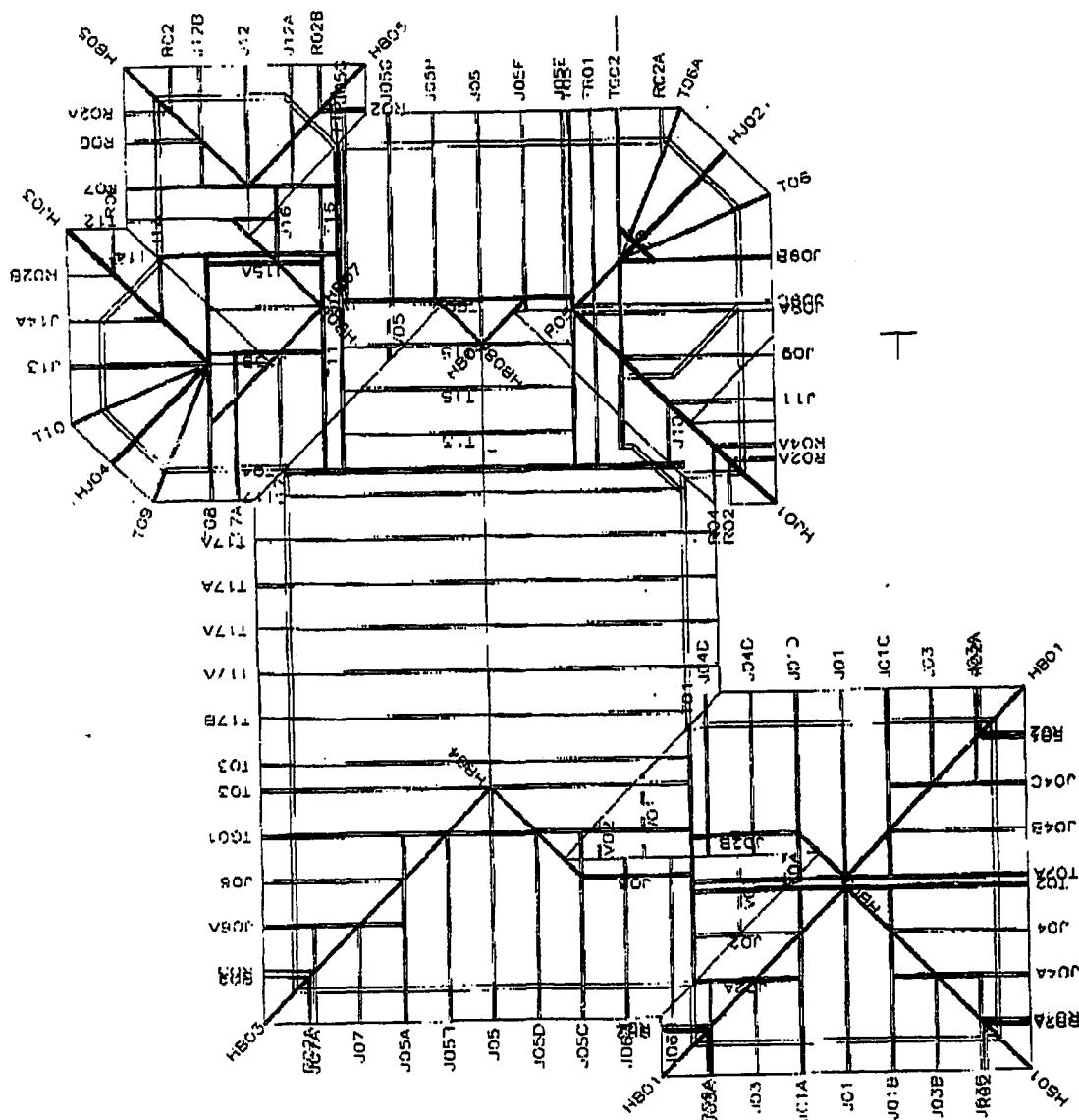
PRINCIPLE OF THE ASYMMETRIC LAP



The Lap splices listed on this chart are based on NZ Standard 3101 requirements and Hurricane Wire Products believe that most design situations will be satisfied, however, no responsibility for design accuracy can be assumed and designers should refer to NZ Standard 3101 : 1992 for substantiating calculations.

Wisan

G21/1





135 Cuba Street
(Cnr Cuba & Bourke Streets)
Palmerston North
Phone 06-355-4448
Fax 06-355-4449



A21/1

10-8-99

P.N.CC
Private Bldg.
Palmerston North.

Dear Sir/Madam

The plans for this consent application are to remain confidential to safeguard the copyright of the plans and specifications, and can only be uplifted by Diamond Homes or by the above mentioned owner.

Yours faithfully
DIAMOND HOMES LTD

A handwritten signature in dark ink.
Geoff Boyden
Principal

Better People – Better Homes™

A21/1

P-2-C

DIAMOND HOMES SPECIFICATIONS

CUSTOMER: W & S WILSON

SITE: GREENWOOD PLACE
PALMERSTON NORTH

Foundation and Floor

The floor is placed at approximate heights to the plan. All heights are taken from the ground to the top of the floor.

Concrete foundations and floor - reinforced/base plastered.

Site scrapped by the Contractor.

Roof Style and Roof Sheathing

Style - Hip

Sheathing - Colour tiles. Colour - T.B.A.

Exterior Wall Cladding

Soffitt - Hardiflex

Brick - Type - Firth Focus. Colour - Autumn Hues. Pointing Colour - to suit.

Plaster - Type - Solid. Style - Large pebble dash.

Spouting and Downpipes

Long-run Coloursteel - external fitting on a colour steel fascia with PVC downpipes

Window Joinery & Exterior Doors

Aluminium Powder coated. Colour - T.B.A.

Paint quality Reveals/Double catches to main windows/Condensation rail.

Front Door (in Aluminium frame) - Plyco Kauri 500 with a 601 side panel (if able to be fitted).

Note/No guarantee by Diamond Homes

Glazed - Spring Frost.

French Doors - glazed clear.

Deadlocks fitted to exterior doors.

Sectional Colourcoated garage door with 2 remote openers.

Sectional Door Colour - T.B.A.

Interior Doors

Doors are P.Q. Door to the HWC is P.Q. flush.

Regency 4 panel Woodgrain in slimline MDF jambs to the balance.

The doors to the Family & Lounge are Regency 4 panel woodgrain with open tops and clear glass.

The door furniture is Lane polished brass knob. Privacy locks fitted to bathroom/EnSuite.

White door stops fitted.

Linings

Walls - Gib Board - Garage walls - Finaboard.

Ceilings - Gib Ultraline board - Garage - pinex sheet.

Gib cove to main ceiling areas 55mm. Customwood scotia fitted in the garage/linen cupboard/wardrobes.

Walls gib-stopped for a wallpaper finish.

Finishing Timbers

All finishing timbers are P.Q./Skirting 85mm/12mm bevel.

Kitchen

The kitchen is as per the plan layout or by a separate kitchen plan as drawn by our Kitchen Designer. The units are finished in Melteca or Melamine. Where a pantry is built in, the shelving is pre-finished and adjustable. Pantry doors will match the kitchen unit doors.

Bench tops are rolled nose with an up-stand behind the sink unit.

Stainless steel drainage tray with a Reginox Rx980 1.25 bowl/waste disposal waste.

The kitchen tap is a chrome single lever Methven Centique.

Bench colour/unit colour/door handles are to be selected from our Designers stock range.

Provision made for:-

1. Dishwasher

Fitment of this item can be at an additional charge.

Bathroom and En Suite

Bath - white acrylic Englefield Studio bath with a white Hardiglaze tile pattern splash board to all sides and the front of the bath.

Shower Unit/Englefield Bathworks with styrene obscure side panel and matching pivot type shower door. Size 1000mm x 1000mm.

Methven F2010 single lever shower mixer with a Methven FU115 rose in chrome.

Vanities: Clearlite Palo - 900mm in white with white bow handles.

Taps: Methven Belaire/Cross top - white with gold trim.

Wastes: White

En-Suite Heated Towel Rail by the Contractor - installed by the Contractor.

Tastic 3 in 1: by the Contractor - installed by the Contractor.

Toilet

White Caroma Verona dual flush suite with Caroma Trident pan.

Laundry

Rotec 1400 with overflow outlet for the washing machine.

HWC

Gas Rinnai - 170 litre - high pressure.

Exterior Taps

3 brass taps, positioned close to internal cold water piping

Electrical

All electrical to be single phase.

Meter box positioned on an exterior wall, at the closet direct point to the power source. The sub-board positioned in a convenient position in the home.

Lights

Exterior (inc ball fittings)

No 05

Censors

No 01

Interior

No 04

Recessed

No 25

2 way light switching

No 07

3 way light switching

No 01

G21/1

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Power Points

Single plug	No 04
Double plug	No 17
Bathroom/En Suite R.C.D.	No 01
Heater plug	No 01
Stove	No 01
Hobb	No 01
Dishwasher	No 01
Waste Disposal	No 01
Range Hood	No 01
Towel Rail	No 01
Garage Door opener	No 01
TV Connection	No 03

Telephone

1 Master and 1 slave installed by the Contractor. The cost of the connection from the source to the house is the Owner's cost. The Contractor will arrange for the cable to be placed. The account for the cable and connection is debited direct to the Owner by Telecom.

Kitchen Appliances

Oven and Hobb - Fisher & Paykel BICT600E combination in white
Range Hood (Robin Hood sliding) - vented to under the soffit by the Contractor.
Waste Disposal by the Contractor.

Painting and Decorating

Exterior - by Owner

Interior - by Owner

Paper hanging - by Owner

Garage is unpainted.

(If the garage is lined with Finaboard, this material is not to be painted).

Shelving - Wardrobe - 1 shelf 300mm wide fixed 1.8m above the floor and with a 20mm galvanised hanger rail under.

Linen/HWC cupboards - 3 shelves in total evenly spaced.

Store Cupboard - 1 shelf at 1.8m above the floor.

Base

Block - unpainted.

Decks/Porch/Drive (as per plan)

Decks - by the Owner.

Porch - Grey concrete unplastered

Drive - coloured/imprint

Steps and Handrails - by the Owner

Floor Coverings

Carpet/Vinyl/Tiles by the Owner

Heating

Gas

Rinnai Slimline to the Lounge

Baynot fitting to the Kitchen

Baynot fitting to the Hall

Stormwater and Downpipes

From the downpipes to the council connection as per plan by the Contractor.

Water Supply

Water source - town supply - by the Contractor.

Sanitary Sewer

From the gully to the council connection as per plan.

Max. depth allowed for is 1.8 metres.

Gas

Gas connection - by Contractor.

Site Electrical

From the local power authorities power pod to the meter box, by the shortest route. Power cable laid underground. Power single phase.

Power connection by the Contractor.

MASTER BUILD 5 YEAR GUARANTEE will be applied for by the Contractor once the Agreement is unconditional and a building consent is approved.

BUILDER'S CONSENT - Included within this Agreement

VEHICLE CROSSING - by the Contractor.

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- 6 -

PRELIMINARY & GENERAL SPECIFICATIONS TO ALL TRADES

(Note - Not specific to this Home)

1. **CONSENTS:**
The Contractor shall arrange to obtain all consents to build etc. and arrange all inspections.
2. **PROTECTION OF WORK:**
All parts of the work liable to injury and all adjoining property existing work; footways; trees etc. are to be protected to the best of the Contractor's ability, until completion of the contract
3. **P.C. SUMS (NETT SUMS):**
The P.C. Sums quoted in this specification are nett and the Contractor or Subcontractor concerned must add any fixing charges and profit he requires to all such items. The builders margin on prime cost variations is 10% exclusive of GST.
4. **BY-LAWS:**
The whole of the work in this Contract is to be carried out in strict accordance with the local Territorial Authorities regulations.
5. **INSURANCE:**
The Contractor shall at all times, keep the whole of the works fully covered by insurance, both Fire and Public Liability.
6. **TEMPORARY SERVICES:**
The Contractor shall arrange for temporary power and water the cost of which will be of the Contractor's care. If temporary power and water is not practical or available to connect to, and permanent connections have to be made, then this connection fee is at the Owner's expense if not covered in the Contract.
7. **MAINTENANCE:**
The Contractor shall maintain the property for a period of 31 days after completion and any damage done, arising during that time through faulty workmanship shall be made good at the Contractor's expense.
8. **COMPLETION:**
On completion all trade debris is to be removed from the site except the 'You Finish', and the building left ready for occupancy with all services and mechanical parts in good working order.

CARPENTER

Materials Schedule or to By-Law 3604 or as shown on accompanying drawing.

MATERIAL	SIZE	GRADE
Top and Bottom Plates	90x45mm	Rad P. B.T.
Studs	90x45mm	Rad P. B.T.
Trimmer Studs		Rad P. B.T.
Lintels		Rad P. B.T.
Nogging (Dwangs)	90x45mm	Rad P. B.T.
Bracing	Prud	Rad P. B.T.
	100x25mm	Rad P. B.T.
Ceiling joist	100x50mm	Rad P. B.T.
Ceiling Nogging	75x50mm	Rad P. B.T.
Rafters	As per table 10.2m	Rad P. B.T.
Ridges and Hip Rafters	200x25mm	Rad P. B.T.
Valley Rafters	150x40mm	Rad P. B.T.
Valley Boards	150x25mm	Rad P. B.T.
Under Purlins	100x75mm	Rad P. B.T.
Roof Struts	100x50mm	Rad P. B.T.
Collar Ties	150x25mm	Rad P. B.T.
Roof Trusses	Gang-nail or similar	Rad P. B.T.
Purlins (Iron roof)	75x50mm	Rad P. B.T.
Eaves Framing	75x40mm	Rad P. B.T.
Fascia Boards		Colour-steel
Floor		Concrete
Interior Door Jambs	25mm	Customwood/Pine
Skirtings	No 20	Pine/Customwood
Cornices		Gib cove
Shelving	25mm	Customwood
Exterior Trim	Mouldings as required	
Interior Trim	Mouldings as required	Rad. P. U.T.
Lintels	Trifolds	

2. **CONSTRUCTION:**

All materials are to be the best of their respective kinds due to grades, laid true to their various lines and levels and constructed in a proper tradesmanlike manner, to make the whole of the works a sound construction in accordance with the local by-laws.

All timber work abutting or resting on masonry units, concrete or brickwork is to be protected with a bitumen-fabric damp proof course.

Sub-floor jack studs are to be fixed to foundation piles with 100mm steel pins or No 8 gauge (4mm) galvanised wire ties passed through the piles and well stapled to the jack studs.

Bearers to be in long lengths, halved over jack studs or piles where joined.

Where detailed, the roof framing is to be constructed with Engineer designed 'Gang-nail' roof trusses fixed plumb, fastened to the plates with two 100mm nails and braced at each end of the building.

Purlins (Iron roof): to be spaced to accommodate the roof covering and ridging and fastened to the rafters with one 100mm nail at every crossing. Eaves runner to be nailed to the outside of the wall frames. Eaves bearers to be nailed securely to each rafter overhang.

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3. **EXTERIOR FINISH:**

Behind all exterior wall linings and as detailed on the drawings except if fitted onto tanalised timber, fit a breather type building paper lapped 100mm.

Wall areas are to be covered with exterior lining as shown on the drawings. Vertical boards are to be fixed over breather type building paper, plumb and in single lengths where possible and fixed with 60mm galvanised nails. Soffits and porch ceilings to be lined with flat Hardiflex.

Build in the various exterior joinery frames. Fit head capping and flashing

Solid Plastering: where indicated on the drawings, the plasterer is to apply a Solid Plaster System to the exterior wall over a rigid backing material - Hardibacker. The plasterer to apply/fix one layer of flame retardant breather type building paper, run horizontally and lapped a minimum of 75mm at joints. Reinforcement is by way of suitable galvanised wire netting mesh/crimped, side lapped/end lapped and allowing additional mesh at the corners and openings. The plaster is applied in a 2 coat system with the first coat being a scratch coat, adequately covering the reinforcement and still leaving enough plaster to permit a deep scratching as a key for the next coat. Control joints are to be scratched in, and provided vertically at 4.0Lm maximum centres (located at the sides of openings). The plaster is to be wet cured by a mist spray.

4. **INTERIOR FINISH:**

Interior wall linings generally to be 9.5mm sheets fixed with vertical joints and nailed with flat headed galvanised clouts.

Plates: to be in long straight lengths. Bottom plates and wall plates to be butt jointed over continuous support, top plates to be butt jointed and fastened with 4 NH nail plates.

Studs: are to be set out to accommodate 2.4m high wall lining sheets and are to be held to the plates with two 100mm nails at each end, bowed studs are to be straightened with saw cuts, wedges and 100x25mm or 75x25mm strapping.

Lintels: where built up trimmer studs are used. One 90x45mm stud is to be run up past the trimmer to the top plate and the 100x25mm or 90x45mm remaining is to run up to the underside of the lintel.

Nogging: (Dwangs) to be set out to accommodate the ceiling lining sheets and cornices around the perimeter of each room.

Bracing: to be let in flush with the face of the wall frames and raked as nearly as practicable to 45 degrees and dog-legged as required. Alternatively, the Contractor may elect to use sheet bracing fixed to the inside walls (generally bracing line).

The Wall Frames: are to be assembled, squared, braced and erected. The bottom plates are to be straightened and fastened down, the corners are to be plumbed both ways using a plumb bob and line and the top plates are to be held straight with temporary bracing until the ceiling and roof framing and bracing has been completed.

Ceiling Joists: to be on edge and spiked to the wall plates with one 100mm and one 75mm nail at each end. Where practicable, the ceiling joists are to come alongside rafters and to be spiked thereto.

Rafters: to be plumb cut to the ridges and hip rafters and to be birdsmouthed to plates and fastened with one 100mm and one 75mm nail to the plates. Supply and fix the necessary ridgebearers, hiprafters, valley boards, underpurlins and roof struts and collar ties as required to complete the roof framing and as detailed on the drawings.

All Joints: nail holes and other imperfections are to be stopped flush and left ready for the paperhanger.

Shower linings: Englefild moulded complete shower box.

Ceiling linings: (see drawing). Nog for and build in various joinery fittings as supplied under "Joiner" and trim to walls.

Interior Doors: are to be fitted with 1.5 pairs of loose pin butts and are of paint quality unless otherwise specified.

Skirting: to be fitted to the floor and internal corners and mitred at external angles.

Coat cupboard and Wardrobes: to be fitted with one shelf 300mm wide fixed 1.8m above the floor and with 20mm galvanised pipe hanger rail under.

Linen, Hot water cupboards: to be shelved. Three shelves in total.

Form a ceiling access door in a convenient and inconspicuous place.

Cooperate with the electrician in the building of a meter box and the building of a switchboard recess and trimmed around as required.

Supply and fix the sundry internal mouldings and trim as required.

All internal finishing timbers shall be free from all hammer marks, splits, etc.

All nails in exposed work (interior and exterior) are to be punched.

PLUMBER AND DRAINLAYER

1. **Generally:**

The whole of the plumbing and drainlaying shall be done in strict accordance with Drainage and Plumbing Regulations and drains shall be laid by registered workman only. The plumbing contractor shall obtain all necessary consents for the work.

2. **Exterior Work:**

Supply and fix all necessary flashings and caps, in conjunction with the builder to make a thoroughly watertight job. Supply and fix spouting to all eaves, laid with even falls to downpipes. Downpipes to run into stormwater drains (or soak pits if specified) at foot. Valleys to be standard, galvanised, laid over self supporting building paper.

3. **Water Services:**

Lay on cold water from the main to a hot water cylinder, set up as shown on the drawings. Provide and set up the cylinder, complete with thermostatically controlled electric element (unless gas specified). Lay on hot and cold water services to the various fittings as shown on the drawings and to one hose tap positioned as on accompanying drawing. Hot water services to run in copper. Main and cold water may run in polytherm.

4. **Fittings:**

Provide and set up the fittings as shown on the drawings and provide traps and waste to same:

Bath PVC first quality

Vanity Unit - white size as shown on drawings.

Sink top - from Contractor's range.

Shower - moulded unit.

WC - porcelain wash-down pedestal with plastic double-flap seat.

Plastic flushing cistern.

Tub - Rotec 1400.

Taps interior, Methven or similar.

Exterior hose taps - brass.

Hot water cylinder - 170 litre high pressure gas

5. **Drains:**

Stormwater to be taken in PVC pipes to stormwater main connection or standard soak holes.

Sewer drains to be first quality pipes, 100mm laid with even falls and easy bends to a main connection as directed. If not on sewer provide one septic tank, as specified in contract. Provide and fix all necessary gulley traps, terminal and back vents, cleaning eyes, inspection junctions and bends etc., as may be necessary to comply with the local authorities' regulations.

Where a local authority requires detailed Drainage Plans prior to the issuing of a Building Consent then the appointment by the Contractor of a registered Engineer/Surveyor to complete the above plans to the satisfaction of the local authority is at the employer's expense.

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Note: All underground pipes and gulleys will be located in relation to the natural ground level and no responsibility will be taken by the contractor for subsequent ground work, which alters that level.

6. **Gas fitting:**

All pipework shall be either copper or polyethylene, sized to suit the maximum possible loading, concealed within and securely fixed to the building structure. Where required, flues should be run in the shortest possible route rising progressively towards its termination point, terminating with minimum clearances from the building so that combustion products cannot re-enter the building. Ensure that adequate ventilation is available to all appliances. Arrange with the Local Authority for the connection of the mains pipe, meter and isolation valve to the building at the closest point to the source. At completion, all work is to be thoroughly tested and certified by a registered person.

JOINERY

1. **Windows:** (to be aluminium unless detailed as Timber)

Aluminium windows shall be delivered to the site, stored on edge and protected from breakages and damage prior to installation. The windows are to be glazed with standard quality glass, with obscure glass to bathroom and W.C. windows. (Generally Chinchilla).
Safety glass where specified.

2. **Doors:**

Exterior door frames and doors are to be of standard sizes, aluminium (unless otherwise specified), and of the types as shown on the drawings. (Interior doors are to be flush type).

3. **Fittings:**

Construct the various fittings as shown on the drawings. Cupboards are to be of standard construction and divided into door and drawer units.

Sink tops as specified under "Plumber". Other bench to be of selected 'Formica'.

Cupboard doors and cabinets including vanity(ies) to be Melteca.

Drawers to have sides joined to fronts and Melteca bottom.

Customwood is used if specified.

Toe space to be unpainted customwood, for vinyl to be coved to.

ROOFER

1. **Generally:**

Refer to the drawings for the type of roofing to be used.

3. **Colourtiles:**

Tile battens are to be nailed firmly to the rafters, spaced to suit the gauge of the tile.

Tiles to be laid with standard laps and nailed down in accordance with standard practices.

Hip and ridges to be covered in like material.

EXCAVATOR

1. **Generally:**

The Contractor shall, of which the cost is of the employer's care, remove or cover over vegetation, including trees, from the area to be built on. Bulldoze the site to the level shown on the drawing.

2. **Excavate:**

As required for all wall footings, pile footings, steps etc. as shown on the drawings.

Footings excavations are to be not less than 300mm deep or as shown on the accompanying drawing.

Where a local authority requires detailed foundation plans prior to, or upon the issuing of, a building consent - then the appointment by the above Contractor of a Registered Engineer to complete the above drawings and the additional costs involved in complying to the Engineers requirements is at the Owner's expense. Excavations are to be stepped to suit the slope of the ground and kept level at the bottom, maintained free from fallen material before placing reinforcing or concrete.

Deposit the surplus soil on the site, practical to the Contractor, or as directed by the Owner. Any excavations for power or water sources or sewage and drainage to be refilled but not reinstated to its original condition. Replanting or resealing of owner's care.

CONCRETOR

1. **Materials**

Concrete to be mixed with a test of 17,500 KPA after 28 days.

Reinforcement to be round mild steel rods or reinforcing mesh, as detailed, free from scale, paint, grease, etc.

Formwork shall be erected and braced in such a manner that the concrete shall finish to the dimensions shown or specified. The formwork is to be hosed out and kept wet before and while the concrete is being placed.

2. **Concrete Work:**

Construct the various footings as detailed on the drawings and reinforced as shown.

Steps to have 150mm risers and 300mm treads or similar.

Hard filling to be 75mm sand or 'run of the pit' metal compacted in layers of 150mm depth maximum. Blind with 25mm of sand or use on site soil for all hard filling.

All floor slabs to be laid to true and straight surfaced with a screed finish.

Thickness and reinforcing as detailed on the drawings.

Allow to build in all holding down bolts, pipes, wires, etc. as required prior to the pouring of the concrete.

Holding down bolts to be 375mm maximum from corners and at 1.2m centres maximum, ramset down plates to floor at same spacing.

INSULATION

Where applicable the building shall be insulated in accordance with Council requirements.

Walls and ceilings are insulated with rockwool.

ELECTRICAL

1. **Generally:**

This contract includes the supply and installation of the electric wiring system complete. The whole of the work shall be carried out strictly in accordance with the local authorities by-laws and the electrical contractor is to obtain all consent from the supply authority and arrange for all inspections required.

2. **Supply:**

Arrange for a mains supply to the building.

3. **Boards:**

Provide and set up as required one meter board and case with all necessary equipment there on, neatly labelled. Provide and set up where directed by the builder, a switchboard panel with all necessary fuses, switches and main switches properly mounted and labelled and hinged on one side. This panel can be combined with the meter board if convenient.

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4. **Lights:**
Provide and fix the lights, switches and power outlets as listed on the electrical plan. Light switches and power points positioned at standard height unless requested.
5. **Fittings:**
The electrician is to install the electric oven and hob.
Allow to wire up the thermostatically controlled hot water cylinder element.
Earth all metal wastepipes and metal fittings as required by the regulations.
6. **Completion:**
On completion of all work, to fill out and present the appropriate certificate to the principal contractor, who will only authorize the connection of power once all payments pursuant to the contract documents are paid to their office.

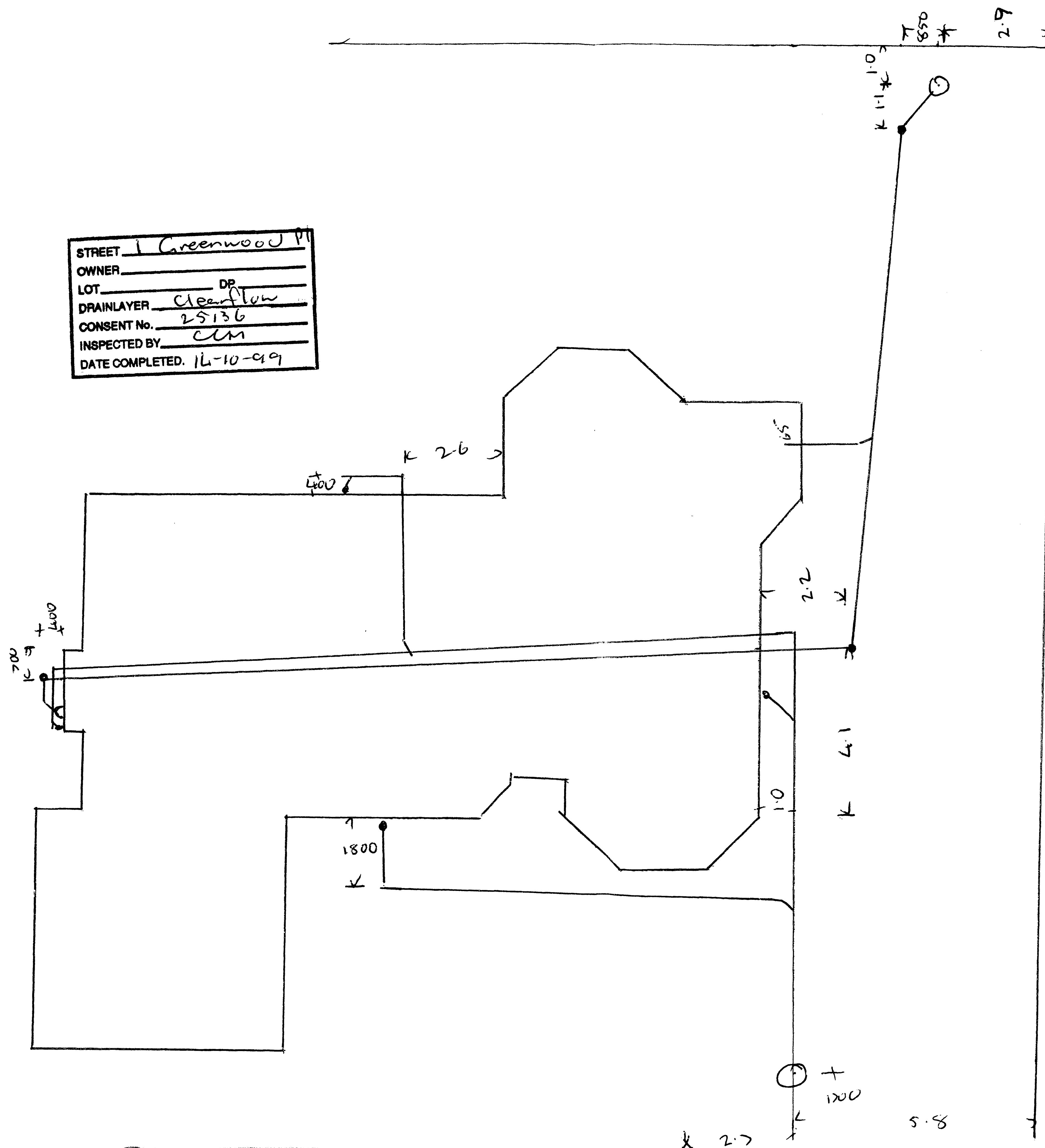
GIB-STOPPING/PAINTING/PAPERHANGING

1. **Generally:**
Decorating is of the Contractor's responsibility unless it has been excluded in the specification Addendum appended to the Building Contract - therefore employee decorating.
All paint and paper is to be delivered to the job, exactly to the manufacturer's direction and availability.
2. **Gib-stopping:**
Walls are stopped to a wallpaper finish (Level 3) unless specified, whilst the ceilings are stopped to a paint quality finish (Level 4) which includes sanding by the Contractor (paint quality finish is where all joints are taped and three coats of bedding compound is applied). This level of finish can give shadowing in severe lighting areas, or areas abutting windows or large surface areas flooded with artificial natural light.
3. **Employer Decorating:**
All substance should be inspected by the employer prior to applying any finishing. Defects shall be made known to the Contractor in writing and remedied before the continuation of any finishing system. It is the responsibility of the employer to provide all materials and labour to decorate the house both interior and exterior. Before commencing the work, the owner must take out their own house insurance cover.
4. **Exterior:**
Woodwork - prime, stop and paint in one undercoat and one finish coat with a good finish.
Stained work - one coat of stain, the nail holes etc. are to be stopped.
Metal work including wrought iron etc - approved primer for galvanised iron, one undercoat and one finish coat.
PVC spouting and downpipes are unpainted.
Hardie's sheets - two coats. Solid plaster and concrete block work to be left unpainted.
Roof is colour-steel.
5. **Interior:**
All ceilings are to be sealed then two coats of flat ceiling paint applied, (textured if specified). All wall areas to be lined with wallpaper, hung in single lengths, plumb with butt joints unless otherwise stated.
Where the employer's have chosen a gib-board ceiling, painting of this will be completed by our tradesmen to the best of their ability. Shadowing can often occur on large ceiling areas.
The quality control of the wallpaper is not of the Contractor's care. Any defects which become pronounced due to the nature of the wallpaper will not be rectified at the Contractor's expense. P.C. value as per Quote Addendum for wallpaper per roll. When walls are sprayed workmanship is to be of the highest trade practice. Flush doors, if stained, to be sealed and given one coat of satin finish polyurethane. To be rubbed down between coats. All interior finishing woodwork to be primed, stopped, undercoated and finished.

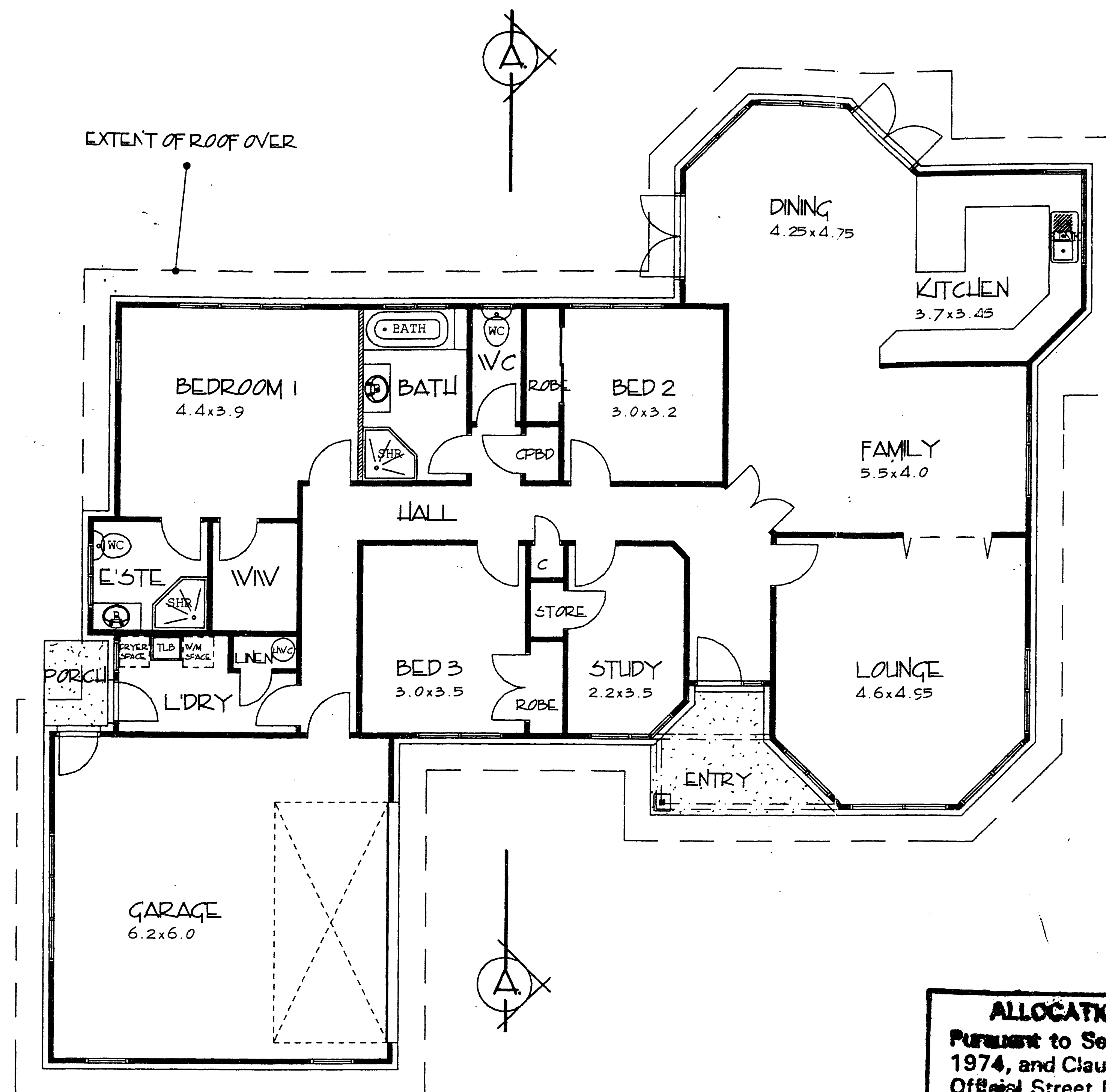
6. **Completion:**

On completion the residence is to be left clean and tidy. All trade debris is to be removed from the site and the building left clean and ready for occupancy.

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FLOOR LAYOUT

1:100

LOT 36
DEPOSITED PLAN 76922

NET SITE AREA = 740 m²
MAX SITE COVERAGE = 259.00 m² (35%)

DWELLING FLOOR AREA = 165.02 m²
GARAGE FLOOR AREA = 39.15 m²) EXCL BRICKS
ENTRY AREA = 4.73 m²)

OVERALL BUILDING AREA = 212.57 m² (INCL BRICKS)

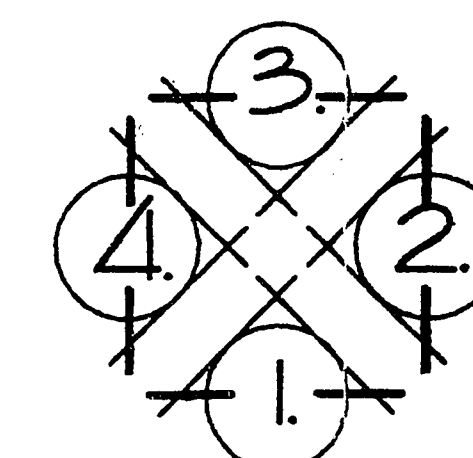
TOTAL SITE COVERAGE = 27.30 m² (OK)

NOTE WELL!!!
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SPECIFICATION

BRICK VENEER-CONTROL JOINTS

If the brick veneer on this building is of concrete bricks, control joints must be constructed as required by both NZS4210 and by the manufacturers. If N.Z. made MONIER CLAY BRICKS are used, control joints are not required. For recommendations on control joints for imported clay bricks refer to the manufacturer.



ELEVATIONS

ALLOCATION OF STREET NUMBERS

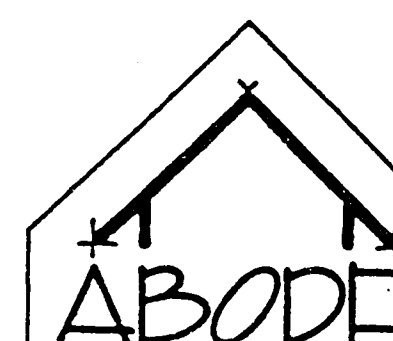
Pursuant to Section 319B, Local Govt. Act 1974, and Clause 41, Rule 10.1.136
Official Street Number for this property is
1 Greenwood Place

Planning and Development Directorate

31 JUL 1999

JULY 1999

job no. 3399



DESIGNERS

RON THOMPSON • NZCAD • LANDZ
16 SOUTH ST • PO BOX 103 • PALMERSTON NORTH
PHONE / FAX 0-6-358 7739 ANYTIME

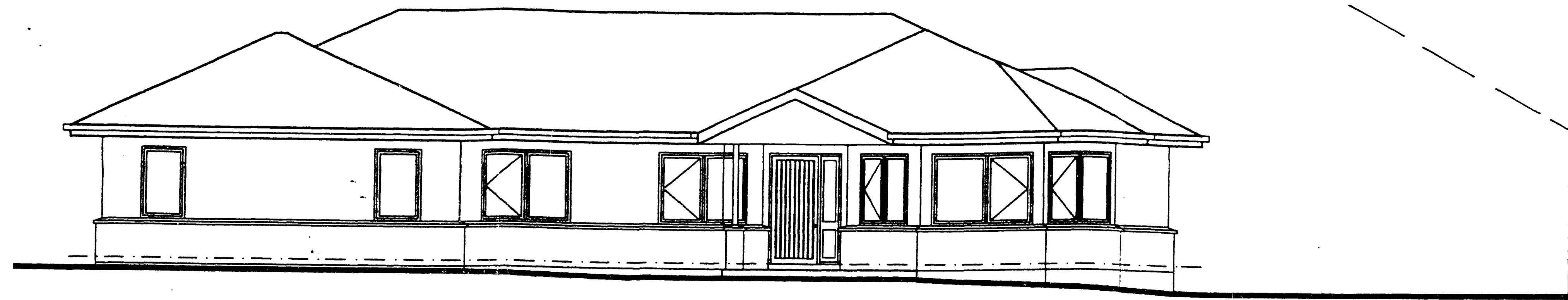


WILSON

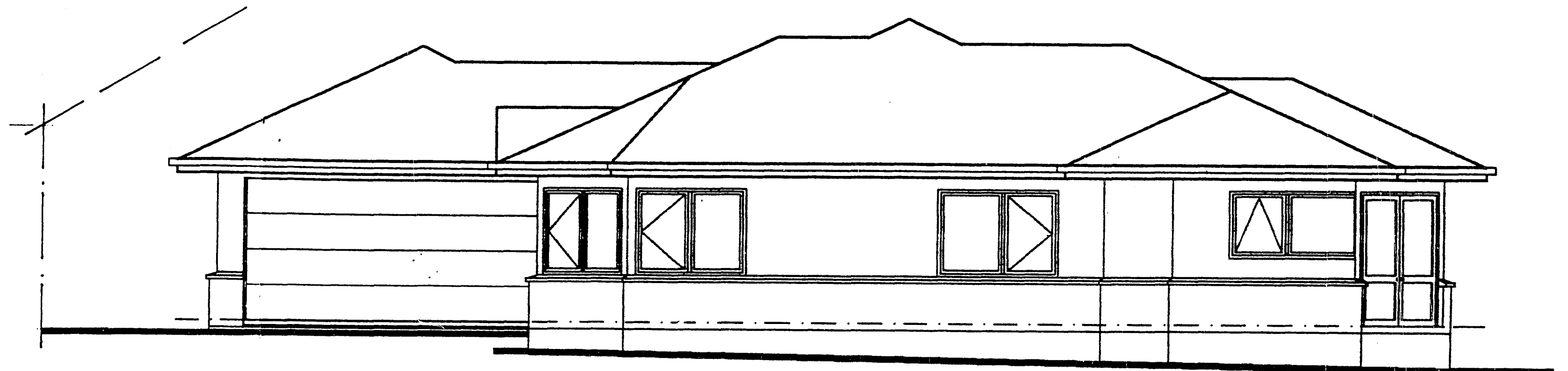
GREENWOOD PLACE

RESIDENCE

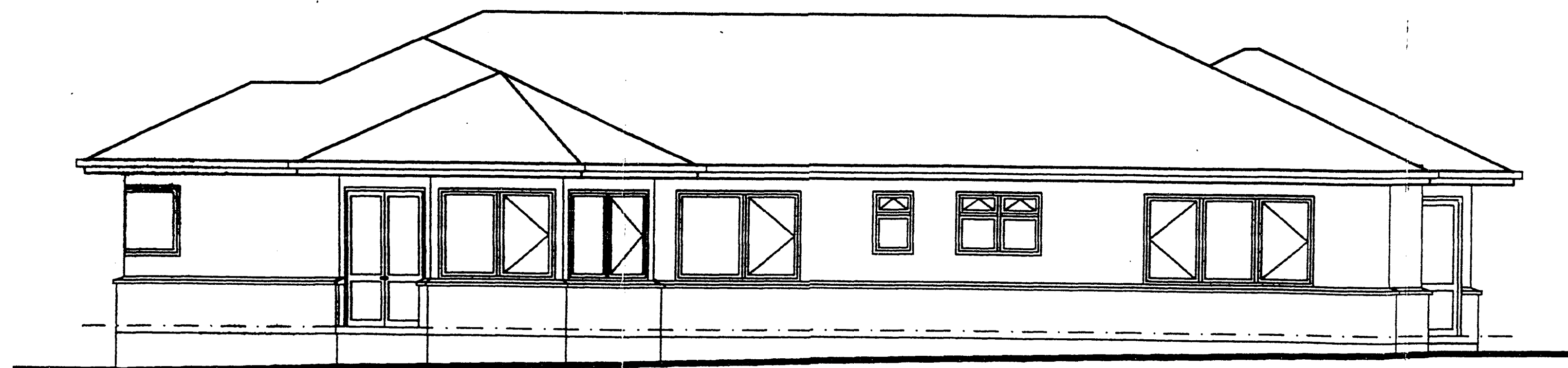
PALMERSTON NORTH



ELEVATION 1 1:100



ELEVATION 2 1:100

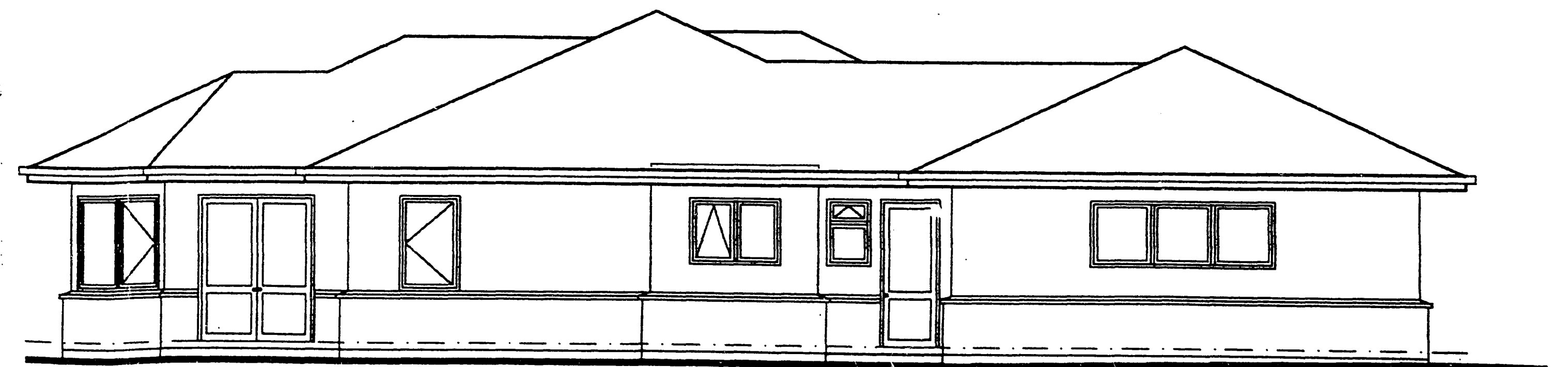


ELEVATION 3 1:100

SPECIFICATION

BRICK VENEER-CONTROL JOINTS

If the brick veneer on this building is of concrete bricks, control joints must be constructed as required by both NZS4210 and by the manufacturers.
If N.Z. made MONIER CLAY BRICKS are used, control joints are not required. For recommendations on control joints for imported clay bricks refer to the manufacturer.



ELEVATION 4 1:100

31 JUL 1999

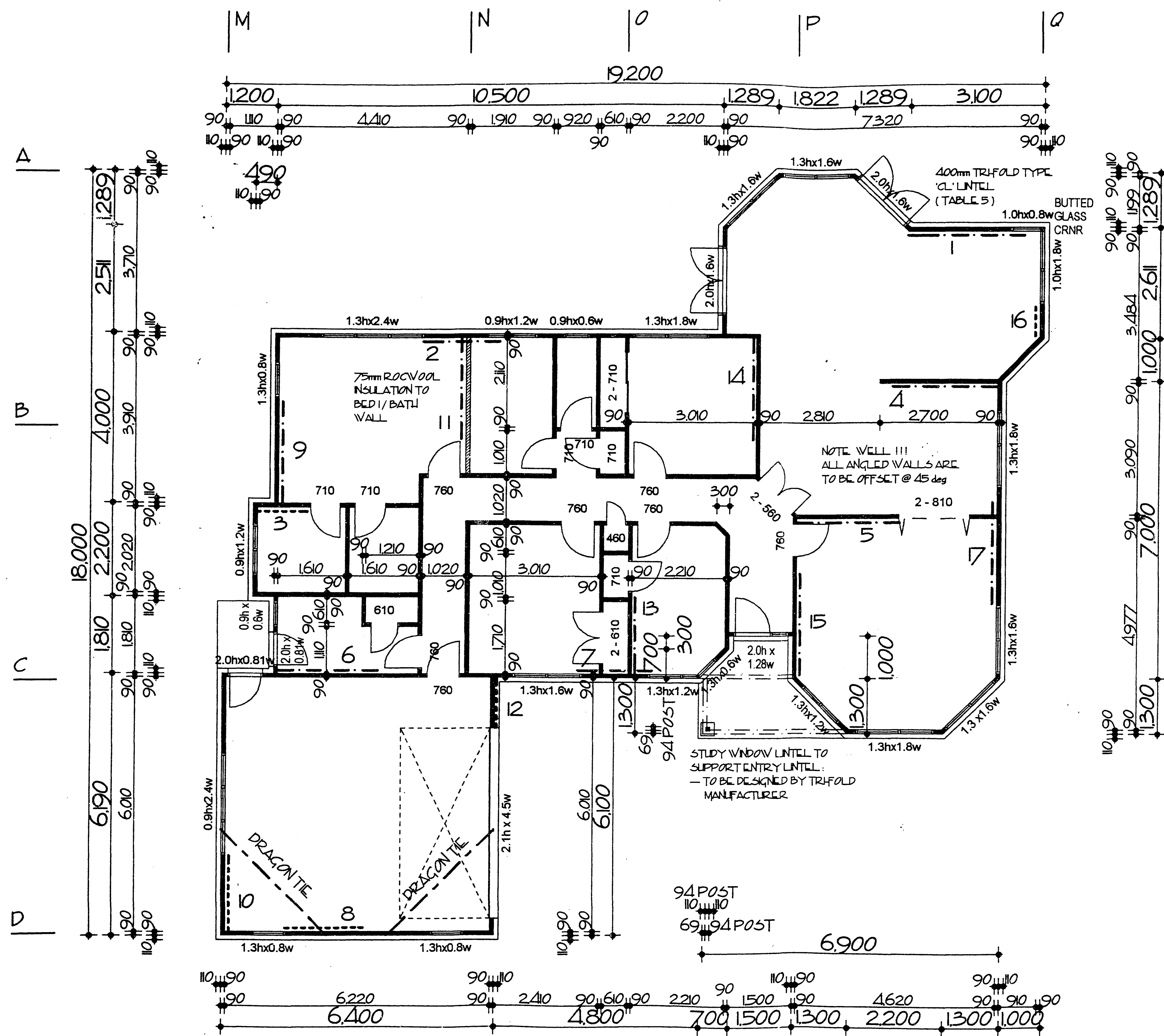
WILSON

job no 3399

dwg

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NOTES:

- ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR CONCERNED PRIOR TO CONSTRUCTION / MANUFACTURE
- REFER TO ACCOMPANYING WALL BRACING CALCULATIONS SHEET.
- 3 BRACE NUMBER - REFER TO CALCULATIONS SHEET FOR DETAILS
- QB 1 DIAGONAL WALL BRACING IN CONJUNCTION WITH 9.5 mm QB BOARD ON ONE FACE
- QB 2 DIAGONAL WALL BRACING IN CONJUNCTION WITH 9.5 mm QB BOARD ON BOTH FACES
- BR 5 9.5 mm QB BRACELINE SHEET BRACING ON ONE FACE
- CP 5 7.5 mm PLYWOOD SHEET BRACING ON ONE FACE
- TYPE 4 9.0 mm PARTICLE BOARD SHEET BRACING ON ONE FACE
- THE FIXING OF ALL BRACING IS TO MEET THE REQUIREMENTS OF THE NZ BUILDING CODE & APPROVED DOCUMENTS (ESP NZS 3604:1990) & THE MANUFACTURER'S FIXING INSTRUCTIONS
- GENERALLY OVERALL SET-OUT DIMENSIONS ARE TO THE FLOOR SLAB / OUTER FACE OF WALL
- THE MANUFACTURER OF TRIFOLD LITELS IS TO CONFIRM THE SIZE OF LITELS INDICATED ON THIS DRAWING
- 110 = 70mm BRICK & 40mm CAVITY SPACE

SET-OUT / WALL BRACING PLAN

1:100

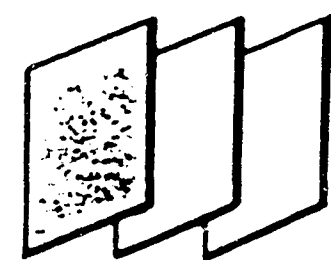
31 JUL 1999

WILSON

dwg

job no 3399

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GIBRALTAR BOARD
Wall Bracing Systems

WALLBRACING CALCULATION SHEET A
(For use with NZS 3604 : 1990)

Name: WILSON RESIDENCE

1. Location of STOREY ☒ foundation single ☐ upper of two ☐ lower of two

SITE WIND ZONE: (Table 2.4) low ☒ medium ☐ high / very high

EARTHQUAKE ZONE: (Fig. 2.2, Table 2.3) A/B/C

SITE ADDRESS

City/Town or District: PALMERSTON NORTH

Street and Number: GREENWOOD PLACE

or LOT AND D.P. Number: LOT 36 / DP 76922

2. **FOR EARTHQUAKE**

Roof weight: ☒ light ☐ heavy

Average Roof Pitch: 25°

Type of Cladding: ☒ light ☐ heavy

Earthquake Zone: A

Storey in Roof space: yes ☐ no ☒

$E = 4.6 \text{ BU's/m}^2$

3. **FOR WIND**

Building Height: 2.3 m

Roof Height: 2.4 m

Stud Height: 2.4 m

Wind Speed: MEDIUM

$W = 54 \text{ BU's/m Along}$

$W = 54 \text{ BU's/m Across}$

4. ROOF of BUILDING LENGTH BL = 19.4 m

ROOF of BUILDING WIDTH BW = 18.2 m

GROSS ROOF of BUILDING PLAN AREA GPA = 212.6 m²

5. EARTHQUAKE LOAD (ACROSS and ALONG) $E \times GPA = 4.6 \times 212.6 = 977.9 \text{ BU's}$

WIND LOAD: ACROSS $W \text{ ACROSS} \times BL = 54 \times 19.4 = 1047.6 \text{ BU's}$

WIND LOAD: ALONG $W \text{ ALONG} \times BW = 54 \times 18.2 = 982.8 \text{ BU's}$

WILSON 3A

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
A	77	1	GIB1	2.7	50	135	75	202
		2	GIB1	1.8	50	90	55	99
B	175	3	BR5	1.2	85	102	115	138
		4	GIB2	2.4	70	168	80	192
C	188	5	GIB2	2.4	70	168	80	192
		6	GIB1	2.4	50	120	75	180
D	66	7	GIB1	1.8	50	90	55	99
		8	TYPE4	1.8	83	149	83	149
E								

TOTALS ACHIEVED	EQ	✓ 1022	W	✓ 1251
TOTALS REQUIRED	EQ	978	W	983

(From Sheet A)

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
M	144	9	GIB1	2.4	50	120	75	180
		10	TYPE4	1.8	83	149	83	149
N	131	11	GIB2	1.8	60	108	75	135
		12	CP5	1.2	92	110	94	112
O	70	13	GIB2	1.8	60	108	75	135
		14	GIB2	2.4	70	168	80	192
P	108	15	GIB1	2.4	50	120	75	180
		16	BR9	0.7	95	66	110	77
Q	121	17	GIB1	2.4	50	120	75	180

TOTALS ACHIEVED	EQ	✓ 1069	W	✓ 1340
TOTALS REQUIRED	EQ	978	W	1048

(From Sheet A)

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WILSON 3B

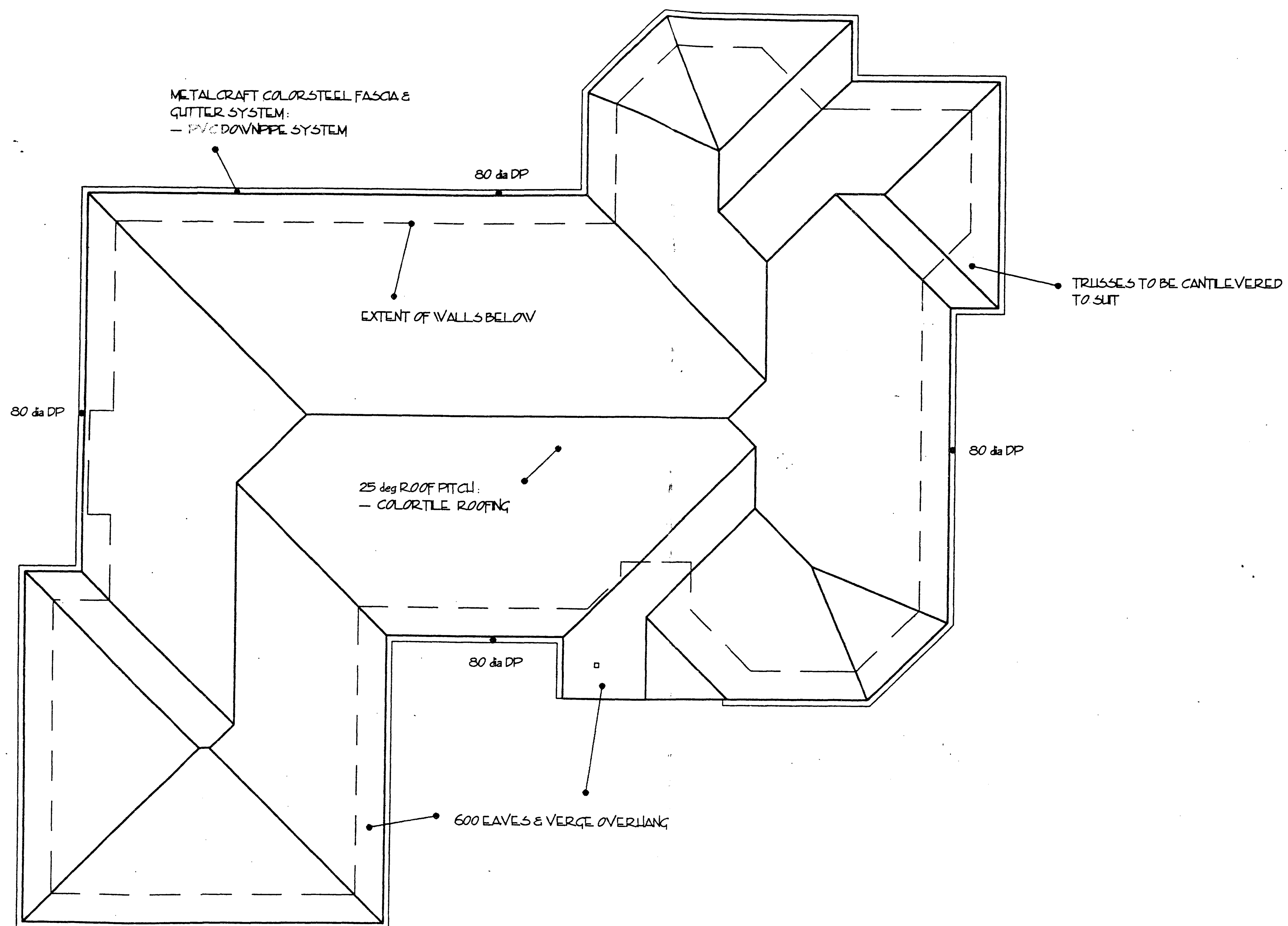


1 : 100

WILSON

↓ dwg

4/



NOTE WELL !!!
 THE SUB-CONTRACTOR INSTALLING THE GUTTER & DOWNPIPE
 SYSTEMS IS TO CONFIRM THAT THE CROSS-SECTIONAL AREA OF
 THE GUTTER IS APPROPRIATE FOR THE ROOF AREA IT DRAINS
 AND THE SIZE & LOCATION OF THE DOWNPIPE INDICATED

ROOF PLAN. 1:100

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job no. 3399

dwg

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CONSTRUCTION NOTES :

ROOF / CEILING / SOFFIT -

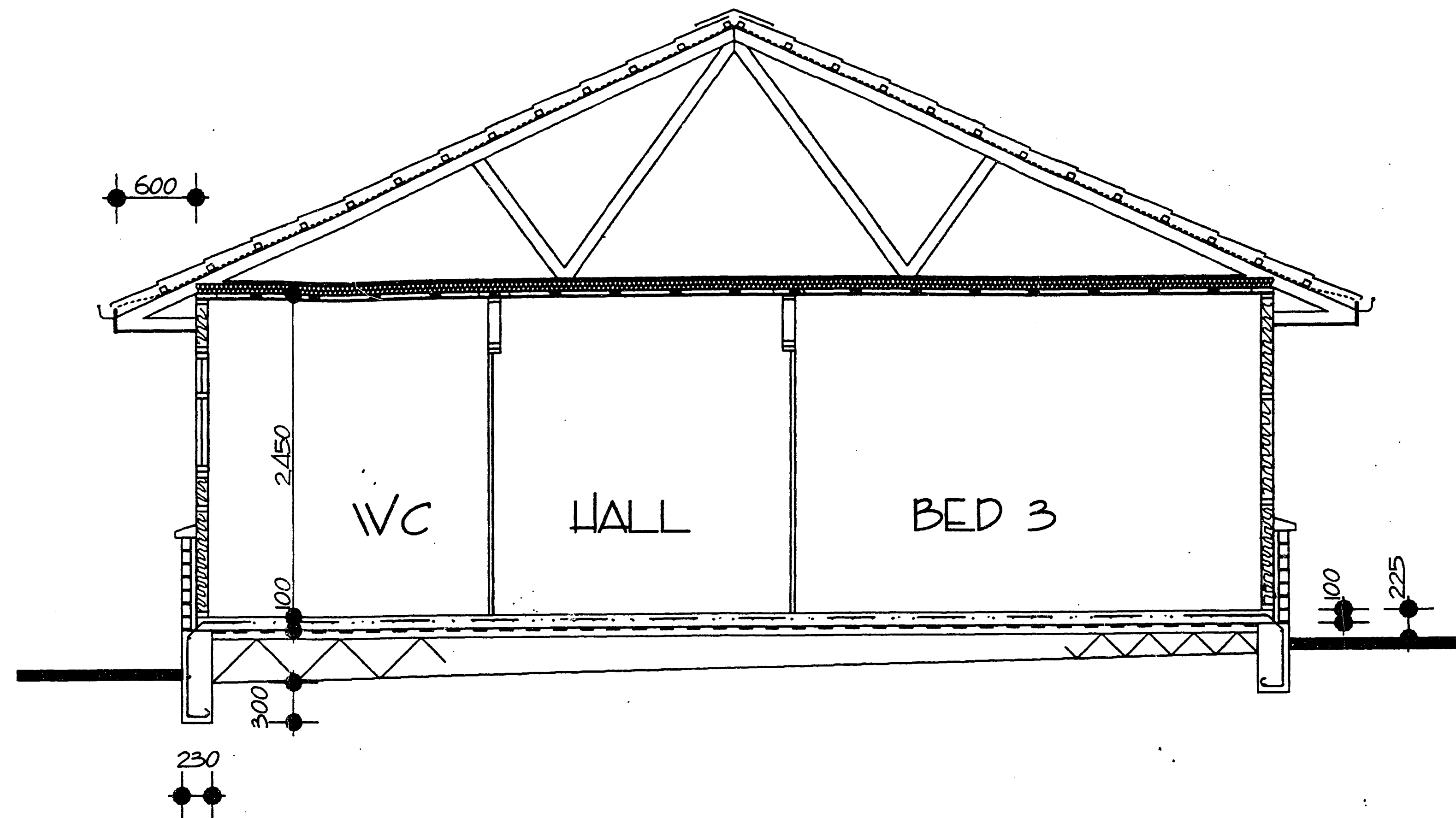
- 25 deg ROOF PITCH (HIP & GABLE ROOF)
- SELECTED COLOR TILE ROOFING & ACCESSORIES
- 25mm RIDGE BOARD ON EDGE OVER TRUSS APPEX
- 50 x 40 TILE BATTENS @ CTRS TO SUIT
- BREATHER TYPE BUILDING PAPER
- GANG-NAIL TIMBER ROOF TRUSSES @ 900 CTRS MAX:
- DESIGN & LAYOUT TO BE PROVIDED BY MANUFACTURER
- 100mm ROCKWOL CEILING INSULATION OVER DWELLING
- 75 x 40 CEILING BATTENS @ 450 CTRS:
- EXCEPT @ 400 CTRS TO GARAGE
- 9.5mm GB BOARD CEILING LINING:
- EXCEPT 12.5mm PINEX SHEET TO GARAGE
- 600 EAVES & VERGE OVERHANG
- 50 x 50 RIBBON BOARD / SOFFIT BEARERS @ 900 CTRS:
- EXCEPT 100 x 50 @ 600 CTRS OVER ENTRY
- 4.5mm HARDFLEX SOFFIT LINING
- METALCRAFT COLORSTEEL FASCIA & GUTTER SYSTEM
- PVC DOWNSPIPE SYSTEM

WALL -

- 50 x 40 RIBBON PLATE (WITH 90 x 45 FS LAZER FRAME TOP PLATE)
- 90 x 45 FS LAZER FRAME TIMBER WALL FRAMING:
- STUDS @ 600 CTRS MAX / DIVANGS @ 800 CTRS MAX:
- EXCEPT DIVANGS @ 600 CTRS MAX TO GARAGE TO SUIT PARTICLE BOARD FIXING
- SELECTED BRICK VENEER EXTERIOR CLADDING WHERE INDICATED:
- BREATHER TYPE BUILDING PAPER
- MIN 40mm CAVITY SPACE
- FOLDED METAL FLASHING ON TO TOP OF BRICKS FROM BEHIND PLASTER
- SOLID PLASTER EXTERIOR CLADDING SYSTEM WHERE INDICATED:
- ENTRY POST TO BE PLASTERED ABOVE BRICK SKIRT
- 4.5mm HARDBACKER
- BREATHER TYPE BUILDING PAPER
- GALV - WIRE NETTING
- PEBBLE DASH SOLID PLASTER FINISH
- 75mm ROCKWOL INSULATION TO DWELLING OUTER WALLS:
- INCLUDING WALLS BETWEEN DWELLING & GARAGE
- ALSO TO WALL BETWEEN BED 1 & BATH
- 9.5mm GB BOARD WALL LINING:
- EXCEPT 9.0mm PARTICLE BOARD TO GARAGE
- EXCEPT 9.5mm GB AQUALINE TO WATERSPLASH AREAS
- 113 TREATED 100 x 100 TIMBER ENTRY POST 2 - M2 GALV BOLT FIXED TO GALV 'U' BRACKET SET INTO CONCRETE ENTRY SLAB
- SELECTED WINDOW & DOOR JOINERY

FLOOR -

- 100 THICK REINFORCED CONCRETE FLOOR SLAB:
- 665 MESH REINFORCING
- DWELLING FFL TO BE MIN 225 ABOVE FINISHED GROUND LEVEL
- GARAGE FFL TO BE MIN 50 ABOVE FINISHED GROUND LEVEL
- DPC VAPOUR BARRIER
- 50mm SAND BLINDING
- COMPACTED HARDWARE FILL:
- TO BE PLACED / COMPACTED IN 100 - 50mm LAYERS
- CONCRETE FOUNDATION WALL / FOOTING:
- MIN 230 WIDE (1/2 SIDE MIN 300 BELOW CLEARED GROUND LEVEL)
- 1 - D12 REINF BAR @ TOP & 2 - D12 BARS @ BOTTOM
- R10 FNDTN / SLAB TIES @ 600 CTRS (LAP WITH SLAB MESH MIN 300)
- 100mm REBATE @ FNDTN WALL / FLOOR SLAB FOR BRICK VENEER:
- 100 BELOW DWELLING FFL
- NB: F / WHERE THE VERTICAL DISTANCE BETWEEN HORIZONTAL BARS @ TOP OF FNDTN WALL & BOTTOM OF FNDTN FOOTING EXCEEDS 600, THEN THE FNDTN WALL IS TO BE REINFORCED WITH D12 REINF BARS @ 600 CTRS EACH WAY (OR 665 MESH AS ALTERNATIVE)
- 75 THICK CONCRETE ENTRY & PORCH SLABS:
- 100 BELOW DWELLING FFL
- 50 THICKENED OUTER EDGE (CARRY UNDER POST SUPPORT POINTS)
- ALL EXTERIOR STEPS ARE TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF A MAIN PRIVATE STAIRWAY - MIN 280mm TREADS (INCL NOSING) / MAX 90mm RISERS



CROSS SECTION A-A 1:50

SPECIFICATION NOTES:

- ALL MATERIALS & WORKMANSHIP SHALL CONFORM WITH ALL REQUIREMENTS OF THE NEW ZEALAND BUILDING CODE APPROVED DOCUMENTS AND ACCEPTABLE SOLUTIONS (ESP NZS 3604:1990)
- ALL MATERIALS ARE TO BE STORED, HANDLED & INSTALLED / FIXED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- ALL FRAMING TIMBER IS TO BE N1 GRADE BORIC TREATED RADIATA PINE (OR EQUAL APPROVED) AND WITH THE APPROPRIATE CCA PRESERVATION TREATMENT AS APPLICABLE
- ALL NAILING IS TO COMPLY WITH APPENDIX A NAILING SCHEDULE TO NZS 3604:1990 REQUIREMENTS
- ALL TIMBER LINTELS / TRIMMING STUDS / HEAD & SILL TRIMMERS ARE TO SUIT THE OPENINGS AS REQUIRED BY NZS 3604:1990
- ALL CONCRETE IS TO BE 17.5 MPA ORDINARY GRADE:
- PROTECT ALL TIMBER IN CONCRETE CONTACT WITH DPC VAPOUR BARRIER
- ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY THE CONTRACTOR CONCERNED PRIOR TO CONSTRUCTION / MANUFACTURER

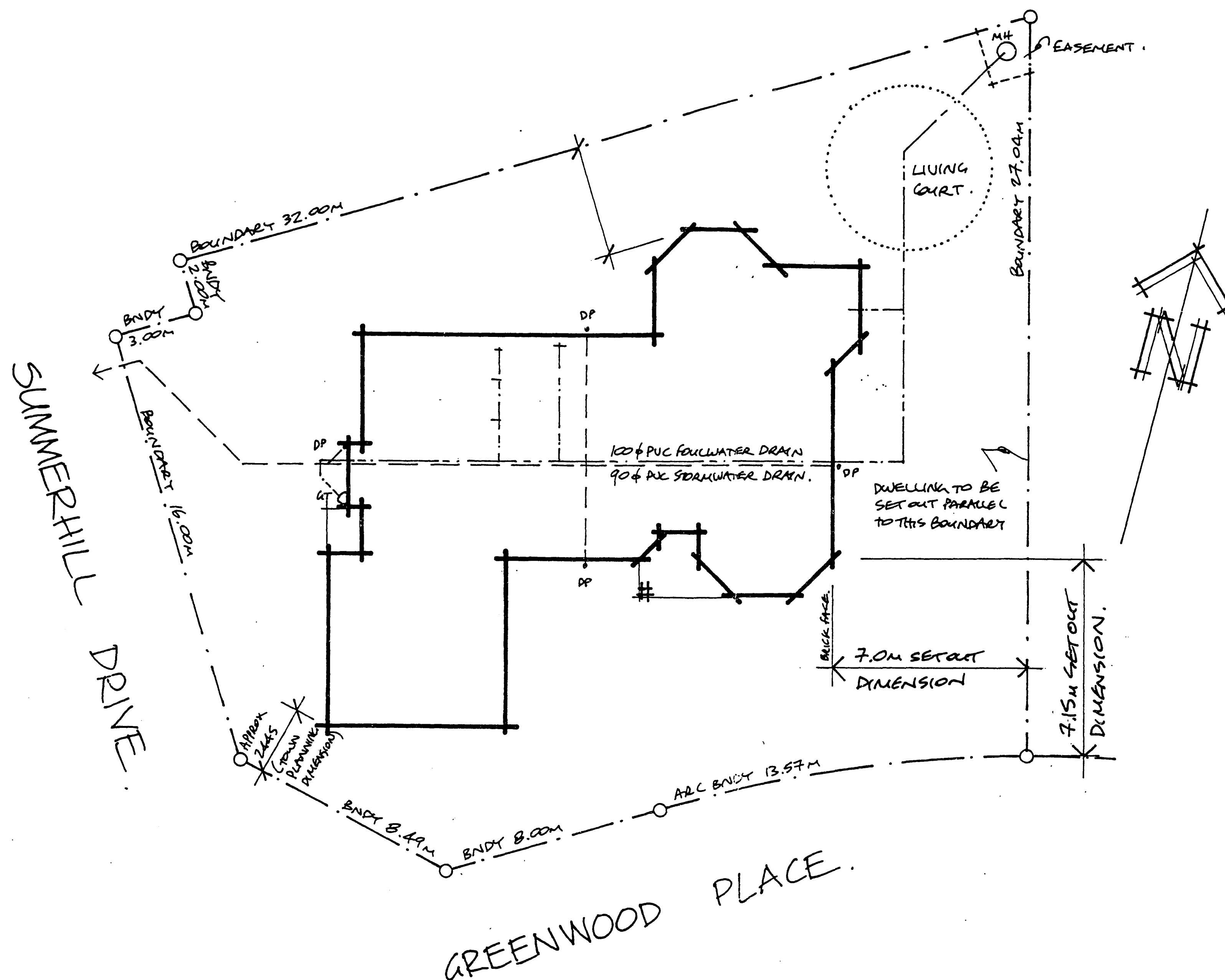
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site plan. 1:200.

LOT 36
DEPOSITED PLAN 76922
SITE AREA = 740m²

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